



# LEE'S SUMMIT OFFICE BUILDING

3215 Carnegie Drive, Lee's Summit, Missouri



## SALE PRICE: \$3,400,000 | 12,320 SF BUILDING

### DEMOGRAPHICS

	1 mile	3 miles	5 miles
Estimated Population	3,391	25,280	106,094
Avg. Household Income	\$96,166	\$139,323	\$120,613

- Two story building with basement garage
- High visibility
- Built in 2005
- Class B - Well maintained
- 49 parking spaces
- 6,160 SF floor plates
- Elevator
- Below replacement cost



CLICK HERE TO VIEW MORE  
LISTING INFORMATION

For More Information Contact:

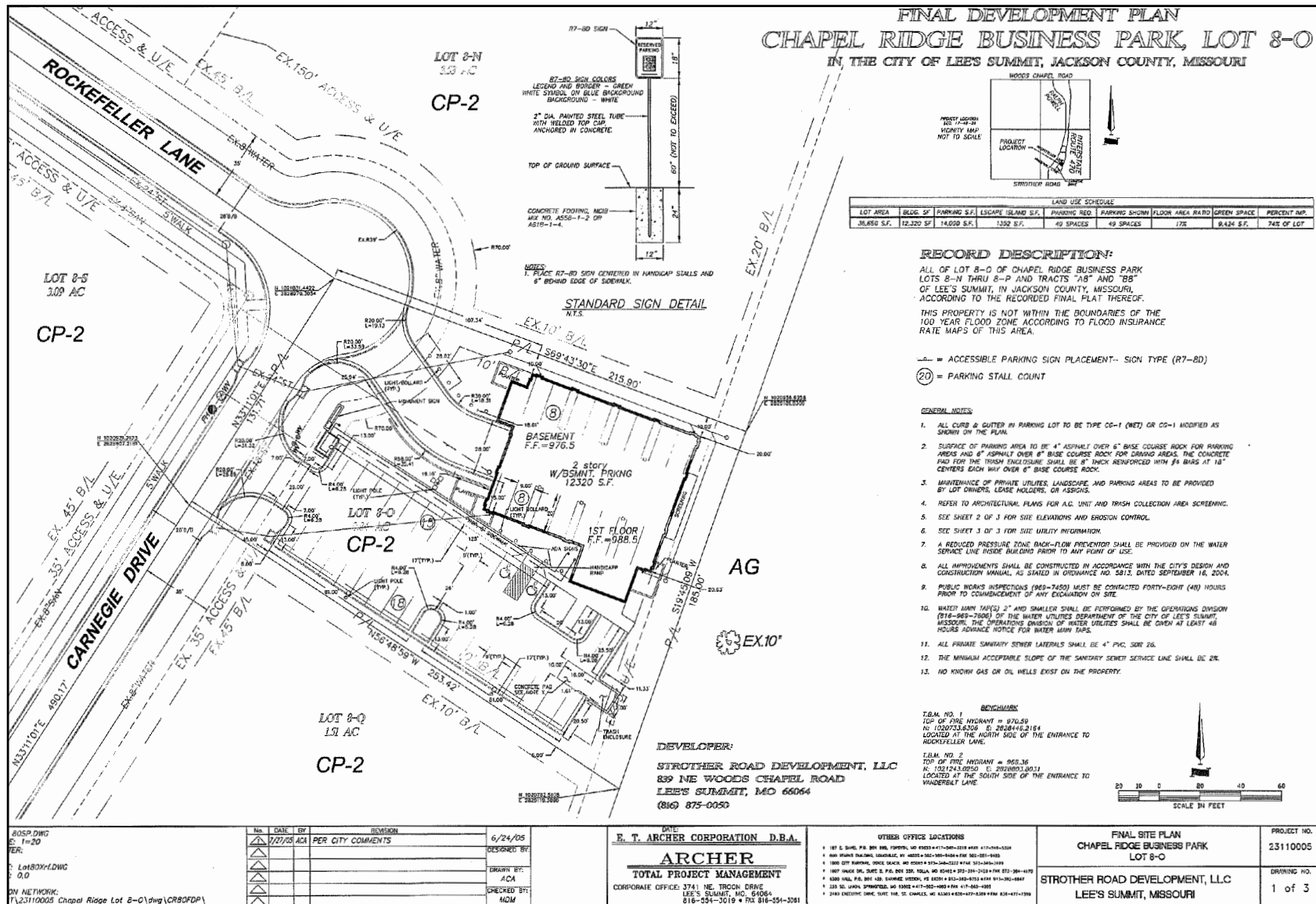
**BILL MAAS, CCIM** | 816.412.7392 | [bmaas@blockandco.com](mailto:bmaas@blockandco.com)

*Exclusive Agent*

# LEE'S SUMMIT OFFICE BUILDING

3215 Carnegie Drive, Lee's Summit, Missouri

# SITE PLAN



# LEE'S SUMMIT OFFICE BUILDING

3215 Carnegie Drive, Lee's Summit, Missouri

## FLOOR PLAN

### GENERAL NOTES

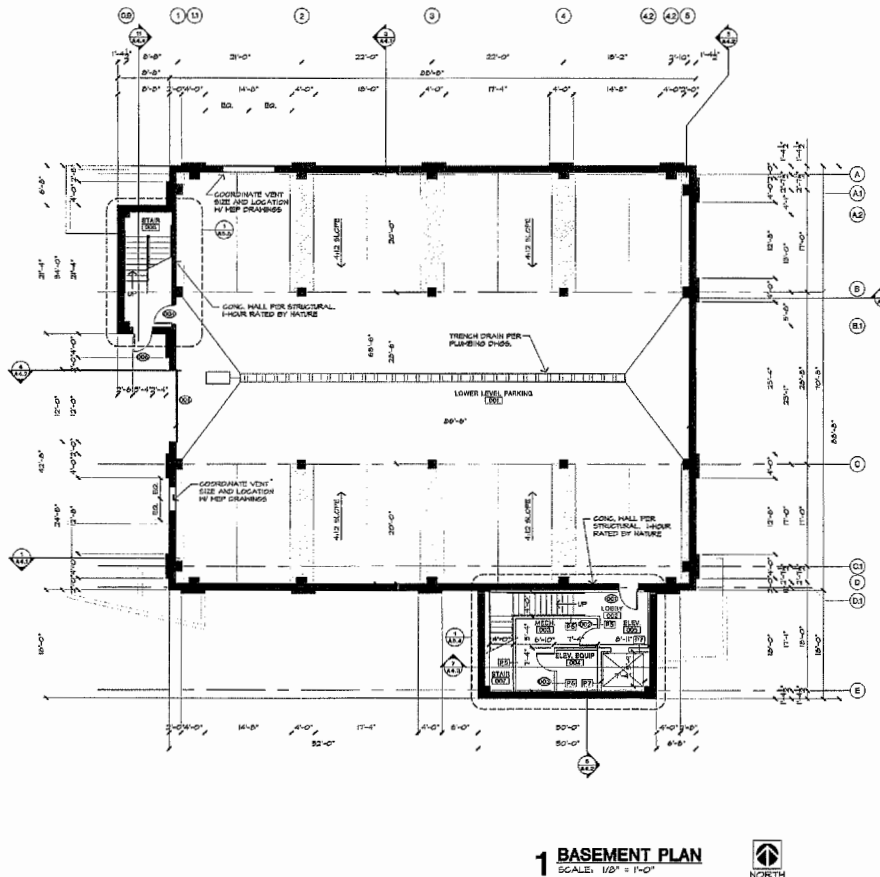
1. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY ROOMS OR HALLS.
2. PROVIDE 2A-1500 FIRE EXTINGUISHERS (MIN. 9 LB.) LOCATION & QUANTITY PER FIRE TYPICAL.
3. EXIT-EMERGENCY LIGHTING ARE SUBJECT TO AN ON SITE INSPECTION.
4. PROVIDE FIRE SPRINKLER PROTECTION FOR NEPA AND PROVIDE OF ADDRESS HANDS ON THE FRONT & REAR OF BUILDING.
5. NOTIFY THE LOCAL FIRE DEPARTMENT BY AN APPROVED CENTRAL STATION & ADDITIONAL ALARMS IN REST ROOMS & GENERAL SERVICE AREAS SHALL BE REQUIRED IF MORE THAN 100 HEADS ARE PROVIDED THROUGHOUT BUILDING.
6. HVAC SYSTEM TO HAVE APPROVED INTERCONNECTED SMOKE DETECTOR ACTIVATED AUTOMATIC SHUTDOWNS TO THE DETECTORS LOCATED IN THE RETURN DUCT.
7. HVAC ROOFTOP UNITS SHALL HAVE AN ACCESSIBLE 8" O.D. OUTLET PER CODE.
8. TENANT ROOMS MUST FULLY COMPLY WITH ALL REQUIREMENTS OF ADA ACCESSIBILITY GUIDELINES.
9. PROVIDE 1/2" BATT INSULATION BETWEEN CONDITIONED & UNCONDITIONED SPACES.
10. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
11. PROVIDE ELECTRICAL OUTLETS @ 12" A.P.F. TO THE LOWEST OUTLET PER A.D.A.
12. BLUESHIFT PARKING AREAS WITH DRIVE-IN DOORS REQUIRE VENTILATION OF AT LEAST 15 CFM PER GROSS SQ. FT. OF FLOOR AREA WITH AN EQUAL AMOUNT OF MAKEUP AIR.
13. STORAGE HEIGHT IS LIMITED TO 12' UNLESS SPREMLER & BRIDGE EVACUATION SYSTEMS ARE DESIGNED FOR HIGH PILE COMBUSTIBLE STORAGE (UNLESS STORAGE IS 12,000 SQ. FT.).
14. PARK AREAS AND PIPES/COILS AS REQUIRED.
15. COORDINATE HATCH HALLS & EXTERIOR OPENING LOCATIONS WITH SHELL BUILDING CONTRACTOR & EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
16. PROVIDE EJECTED SUPPLY & RETURN AIR.
17. PROVIDE AT LEAST ONE CABBINET IN UPPER GARAGEWORK WITH BOTTOM SHELF AT 48" A.P.F. MAX PER A.D.A.
18. EXCESS ILLUMINATION SHALL BE PROVIDED AT AN INTENSITY OF 10' LESS THAN 1 FOOT CANDLE AT FLOOR LEVEL 1 AT THE EXTERIOR OF THE BUILDING.
19. PROVIDE 1/4" TINTED GLASS IN ALL INTERIOR WINDOWS & GLAZINGS (TYPICAL BUILDING NOTES EXCEPTED).
20. PROVIDE 1/4" TINTED GLASS IN ALL EXTERIOR GLAZINGS.
21. ANY HIGH EXTERIOR UTILITY SERVICE EQUIPMENT SHALL BE PAINTED TO MATCH THE BUILDING STANDARD COLOR.

### CONSTRUCTION NOTES

1. FURNISH AND INSTALL WALL AND/OR DOOR SINGLES AS REQUIRED.
2. FURNISH AND INSTALL 2" x 4" STUDS WITH 1/2" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING (B.O.). 5/8" GAGE FOR DOOR.
3. FURNISH AND INSTALL INTERIOR ACROSTIC SYSTEM 1/4" CLEAR GLASS PER DETAIL - TYPICAL AS REQUIRED PER DETAIL.
4. FURNISH AND INSTALL AUTO EASE IN PER DETAIL - 1/4" EITHER SIDE OF FRONT.
5. FURNISH AND INSTALL ADEQUATE ELECTRICAL FOR ALL COMPUTER STATIONS & TENANT SUPPLIED CABLES. INCLUDE VOICE AND DATA AS REQUIRED.
6. FURNISH AND INSTALL ADEQUATE POWER FOR OWNER SUPPLIED EQUIPMENT.
7. VERIFY REQUIREMENTS WITH OWNER.
8. FURNISH AND INSTALL FIBER OPTIC CABLES AS REQUIRED.
9. FURNISH AND INSTALL UPPER AND LOWER GARAGEWORK 1/2" BATT & 2" O.D. A.P.F. PER A.D.A. AND DETAIL.
10. FURNISH AND INSTALL LOWER GARAGEWORK 1/2" BATT & 2" O.D. A.P.F. PER A.D.A. STANDARDS.
11. OFFICE FURNITURE AND CABLES TO BE PROVIDED BY TENANT.
12. NOT USED.
13. FURNISH AND INSTALL ADEQUATE ELECTRICAL FOR DISHWASHER, GARBAGE DISPOSAL AND REFRIGERATOR AS REQUIRED IN SPEC. 333.
14. FURNISH AND INSTALL ADEQUATE ELECTRICAL/AUTOMATION FOR COPIER, FAX, ETC.
15. FURNISH AND INSTALL PULKRINGTON GLASS HALL SWITCH PER SUPPLIER'S SPECIFICATIONS.
16. FURNISH AND INSTALL 24" DIA. LITE IN HOLLOW METAL FRAME. TYPICAL AS REQUIRED.

### WALL LEGEND

- [1]** STANDARD OFFICE PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING (B.O.). 5/8" GAGE FOR DOOR.
- [2]** INSULATED OFFICE PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- [3]** INSULATED PLANNING PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- [4]** 1/2" BATT PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- [5]** INSULATED OFFICE PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- [6]** PARTIAL HEIGHT PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- [7]** ELEVATOR PARTITION:  
5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- \* EXPANSION JOINT NOTE: EXPANSION JOINTS SHALL BE INSTALLED AT A MAX. OF 50'-0". JOINTS SHALL ALSO BE LOCATED TO CORRELATE WITH SHUTTER BURNING INDICATOR.
- \* HALL HEIGHT NOTE: STUDS & STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON EACH SIDE TO 4" ABOVE CEILING & 1/2" BATT INSULATION (B.O.). 5/8" GAGE FOR DOOR.
- \* 1/2" MET. WALL NOTE: OFFICE PARTITION RESISTANT DRYWALL IN ALL PARTITION WALLS AND ALL WALLS ASSOCIATED TO BE IN CONTACT WITH PARTITION.
1. NEW DOOR - SEE DOOR SCHEDULE FOR TYPE & SPEC.



**1 BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



ARCHITECTURE  
PLANNING  
INTERIORS  
CONSULTING  
PROGRAMMING  
DESIGN & BUILD

A PROPOSED OFFICE FOR:  
**CEAH REALTORS**  
CHAPEL RIDGE  
LEE'S SUMMIT, MISSOURI

DATE	05/17/2017	
DRAWN BY	10101-10101-10101	
CHECKED BY	10101-10101-10101	
REVISIONS		
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
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SHEET NUMBER

**A2.0**

DRAWING TYPE

DATE FILE

PROJECT NUMBER

DATE



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3215 Carnegie Drive, Lee's Summit, Missouri

## FLOOR PLAN

### GENERAL NOTES

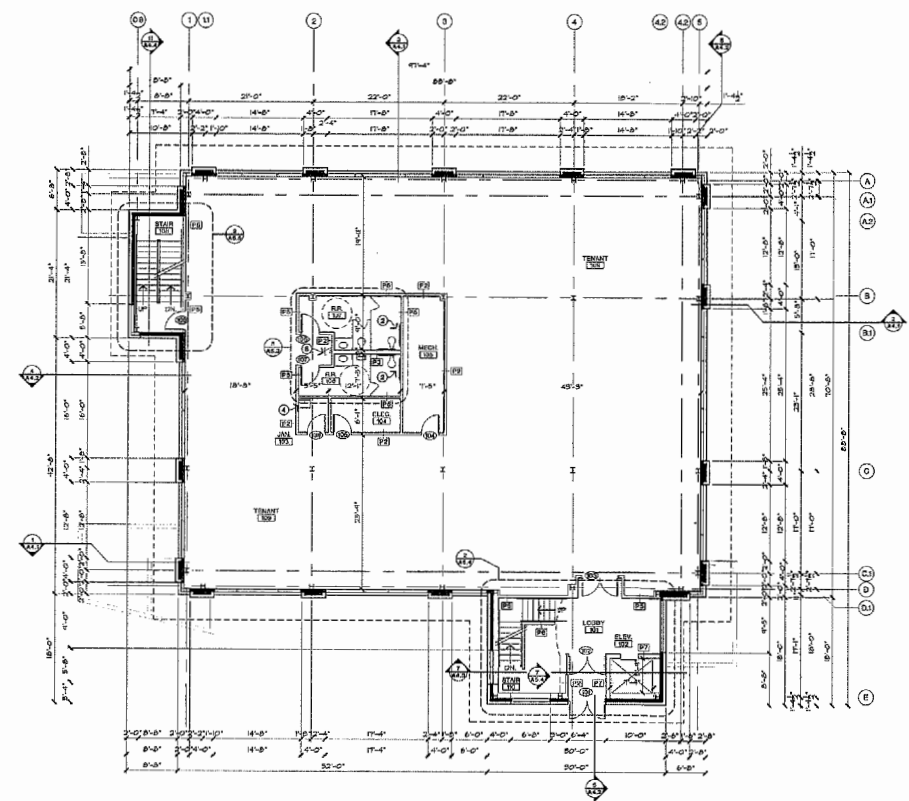
1. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY REQUIRED OR HARRISSED ENTRY.
2. PROVIDE 2A-100 FIRE EXTINGUISHERS PER 1 LB. LOCATION & QUANTITY PER FIRE HAZARD.
3. EXISTING EMERGENCY LIGHTING IS SUBJECT TO AN ON SITE INSPECTION.
4. PROVIDE FIRE SPRINKLER PROTECTION PER NFPA 435.
5. PROVIDE 5" ACCESS HATCHES ON THE FRONT & REAR OF BUILDING.
6. MONITORING (IN LOCATION) OF THE FIRE SPRINKLERS BY AN APPROVED CENTRAL STATION & INDIVIDUAL ALARMS IN REST ROOMS & GENERAL USAGE AREAS WILL BE REQUIRED IF MORE THAN 100 HEADS ARE PROVIDED THROUGHOUT BUILDING.
7. HVAC SYSTEM TO HAVE APPROVED INTERCONNECTED SMOKE DETECTORS ACTIVATED AUTOMATICALLY SHUTDOWNS IF THE DETECTORS LOCATED IN THE RETURN DUCT.
8. HVAC RETURN TOP INTS SHALL HAVE AN ACCESSIBLE 6" DIA. OUTLET FOR GOOD.
9. TENANT FURNISH MUST FULLY COMPLY WITH ALL REQUIREMENTS OF ADA ACCESSIBILITY GUIDELINES.
10. PROVIDE 5/8" BATT INSULATION BETWEEN CONDITIONED & UNCONDITIONED SPACES.
11. DOOR COVERS SHALL BE OBTAINABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
12. PROVIDE ELECTRICAL OUTLETS @ 1' O.C. TO THE LATEST OUTLET PER A.D.A.
13. BASEBOARD HEATING AREAS WITH DRIVE-IN DOORS REQUIRE VENTILATION OF AT LEAST 1/2 C.F.M. PER GROSS SQ. FT. OF FLOOR AREA CITY IN EQUAL INCHES OF WIND-OR AIR.
14. STORAGE SPACE IS LIMITED TO 12" UNLESS SPRINKLER & SMOKE EVACUATION SYSTEMS ARE DESIGNED FOR HIGH PILE STORAGE (UNLESS STORAGE IS 1' CLOSER TO 50' FT.).
15. FURNISH AND/OR PROVIDE SLOTTED DOOR TO EXTERIOR OPENING COORDINATE WINDOW HULLION & EXTERIOR OPENING COORDINATE WITH SLOTTED DOOR CONTINUATION & EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
16. PROVIDE EXISTING SUPPLY & RETURN.
17. PROVIDE AT LEAST ONE CABINET IN UPPER GASEWORK WITH BOTTOM SHELF AT 48" PER A.D.A.
18. EXPRESS ILLUMINATION WILL BE PROVIDED AT AN INTENSITY OF NOT LESS THAN 1 FOOT CANDLE AT FLOOR LEVEL & AT THE EXTERIOR OF THE BUILDING.
19. PROVIDE 1/4" TYPED BARS IN ALL WINDOW HULLIONS & SLOTTED LIGHTS (TYPICAL UNLESS NOTED OTHERWISE).
20. PROVIDE 6" MIN. CLEAR IN ALL BAY WINDOW HULLIONS.
21. ANY NEW EXTERIOR UTILITY SERVICE EQUIPMENT SHALL BE PAINTED TO MATCH THE BUILDING STANDARDS COLORS.

### CONSTRUCTION NOTES

1. FINISH AND INSTALL HALL AND/OR DOOR SIGNAGE AS REQUIRED. FINISH AND INSTALL 24" x 48" GLASS DOORS @ 20" A.P.F. x 8" x 12" RECESSEDLY FROM CORNER. FINISH AND INSTALL ACCESSORIES MOUNTED PER A.D.A. AND PROVIDE 7" DIA. TURNING RADIUS PER A.D.A. AT REENTRY.
2. FINISH AND INSTALL INTERIOR STONEFRONT SYSTEM 1/4" MIN. CLEAR GLASS PER DETAIL - TURNER AS REQUIRED PER DETAIL.
3. FINISH AND INSTALL ANTERIOR DOORS IN FINISH DOOR @ 2-1/4" OTHER SIDE OF FRONT.
4. FINISH AND INSTALL ADEQUATE ELECTRICAL FOR ALL CONVERTER STATIONS & TENANT SUPPLIED CABLES. INCLUDE VOICE AND DATA AS REQUIRED. VERIFY REQUIREMENTS OF OWNER.
5. FINISH AND INSTALL HALLS & STORIES AS REQUIRED.
6. FINISH AND INSTALL WATER FURNISHING PER A.D.A. AS REQUIRED.
7. FINISH AND INSTALL UPPER AND LOWER GASEWORK IN BAY @ 2-1/4" A.P.F. PER A.D.A. AND DETAIL.
8. FINISH AND INSTALL LOWER GASEWORK IN BAY @ 2-1/4" A.P.F. PER A.D.A. STANDARDS.
9. OFFICE FURNITURE AND CABLES TO BE PROVIDED BY TENANT.
10. NOT SPEC.
11. FINISH AND INSTALL ADEQUATE ELECTRICAL FOR DISHWASHER, GARAGE, DISPOSAL, AND REFRIGERATOR AS REQUIRED BY LOCAL CODE.
12. FINISH AND INSTALL ADEQUATE ELECTRICAL/STANDARD FOR CORNER, FAN ETC.
13. FINISH AND INSTALL FULCRUM GLASS WALL SYSTEM PER SUPPLIER'S SPECIFICATIONS.
14. FINISH AND INSTALL 24" SLOTTED IN HOLLOW METAL FRAMES. TURNER AS REQUIRED.

### WALL LEGEND

- 1. STANDARD OFFICE PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING (2" DIA.). STD. GANGE PER SUPPLIER.
  - 2. ISOLATED OFFICE PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING & 2" BATT INSULATION (2" DIA.). STD. GANGE PER SUPPLIER.
  - 3. ISOLATED PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING & 2" BATT INSULATION (2" DIA.). STD. GANGE PER SUPPLIER.
  - 4. LABOR WATER PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING & 2" BATT INSULATION (2" DIA.). STD. GANGE PER SUPPLIER.
  - 5. ISOLATED OFFICE PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING & 2" BATT INSULATION (2" DIA.). STD. GANGE PER SUPPLIER.
  - 6. PARTIAL HEIGHT PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING & 2" BATT INSULATION (2" DIA.). STD. GANGE PER SUPPLIER.
  - 7. ELEVATOR PARTITION: 5/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE TO 6" ABOVE CEILING & 2" BATT INSULATION (2" DIA.). STD. GANGE PER SUPPLIER.
- \* EXPANSION JOINT NOTE: EXPANSION JOINT SHALL BE INSTALLED AT A MAX. OF 50'-0". JOINTS SHALL ALSO BE LOCATED TO GROUND BY APPROVED BUILDING VENDOR.
- \* HALL HEIGHT NOTE: UTILIZE 8' 0" x 28' 0" METAL STUDS @ 16" O.C. TO AN UNBARRIED HEIGHT OF 10'-0". AT HEIGHTS TO 30' 0" MIN. 20' 0" x 28' 0" METAL STUDS @ 16" O.C. INSTALL 2" ROD OF BLACK IRON IN HALLS OVER 20' 0" ADJUST EVID. STD. GANGE. 1" DIA. HALLS ADJUST FOR ALLOWABLE LOAD DEFLECTION PER 8' PER STD. LOAD.
- \* KEY HALL NOTE: UTILIZE WATER RESISTANT DRYWALL IN ALL FINISHING MET HALLS AND ALL WALLS ANTICIPATED TO BE IN CONTACT WITH MOISTURE.
- NEW DOOR: SEE DOOR SCHEDULE FOR TYPE & SPEC.



**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ARCHITECTURE  
PLANNING  
INTERIORS  
CONSULTING  
PROGRAMMING  
DESIGN / BUILD

A PROPOSED OFFICE FOR:  
**CEAH REALTORS**  
CHAPEL RIDGE  
LEE'S SUMMIT, MISSOURI

DATE:	08/12/2021
DRAWN BY:	30100-01-1-02 (R.B.)
CHECKED BY:	30100-01-1-02 (R.B.)
REVISED:	
DESCRIPTION:	1ST FLOOR PLAN

SHEET NUMBER  
**A2.1**  
DRAWING TYPE  
ARCHITECTURE  
GAD FILE  
4/17/2021 10:00 AM  
PROJECT NUMBER  
01000000

# LEE'S SUMMIT OFFICE BUILDING

3215 Carnegie Drive, Lee's Summit, Missouri

## FLOOR PLAN

### GENERAL NOTES

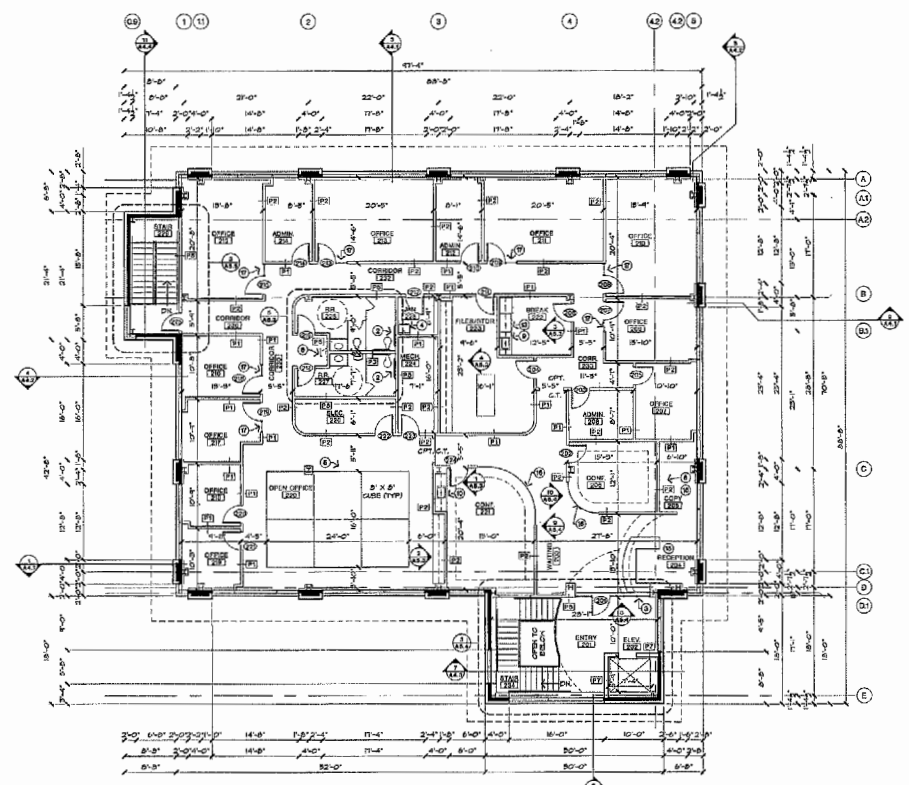
1. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY DOOR OR HANDED DOOR.
2. PROVIDE 20-200 FIRE EXTINGUISHERS (MIN. 5 LB.) LOCATED IN QUANTITY FOR FIRE HAZARD.
3. EXIT-EMERGENCY LIGHTING ARE SUBJECT TO AN ON SITE INSPECTION.
4. PROVIDE FIRE SPRINKLER PROTECTION FOR NEPA AND PROVIDE 5' ADDRESS MARKING ON THE FRONT & REAR OF BUILDING.
5. PROVIDE IN LOCATIONS OF THE FIRE SPRINKLER BY AN APPROVED CENTRAL STATION & AUDIO/VISUAL ALARMS IN REST ROOMS & GENERAL SERVICE AREAS SHALL BE REQUIRED IF MORE THAN 100 HEADS ARE PROVIDED THROUGHOUT BUILDING.
6. HVAC SYSTEM TO HAVE APPROVED INTERCONNECTED SMOKE DETECTOR ACTIVATED AUTOMATIC SHUTTERS IN THE DETECTORS LOCATED IN THE RETURN DUCT.
7. HVAC ROOMS SHALL HAVE AN ACCESSIBLE S.F.C.I. OUTLET PER CODE.
8. TENANT FISH MUST FULLY COMPLY WITH ALL REQUIREMENTS OF ADA ACCESSIBILITY GUIDELINES.
9. PROVIDE 5/8" BATT INSULATION BETWEEN CONDITIONED & UNCONDITIONED SPACES.
10. EXIST DOORS SHALL BE ORIGINAL FROM THE RIDGE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PROVIDE ELECTRICAL OUTLETS @ 5' A.P.F. TO THE LOWEST OUTLET PER A.D.A.
11. BLUETOOTH PARKING AREAS WITH DRIVE-IN DOORS REQUIRE VENTILATION OF AT LEAST 15 CFM PER GROSS SQ. FT. OF FLOOR AREA WITH AN EQUAL AMOUNT OF MAKE-UP AIR STORAGE HEIGHT IS LIMITED TO 12' UNLESS SPRINKLER & SMOKE EVACUATION SYSTEMS ARE DESIGNED FOR HIGH PILE COMBUSTIBLE STORAGE (UNLESS STORAGE IS < 12,000 SQ. FT.).
12. FURR AROUND PERMISSIBLES AS REQUIRED.
13. COORDINATE WINDOW HOLLON & EXTERIOR OPENING LOCATIONS WITH BUILDING CONTRACTOR & EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
14. PROVIDE AT LEAST ONE CABBOT IN WIPER CASEWORK WITH BOTTOM SHELF AT 45" AT 7' MAX PER A.D.A.
15. SMOKE EXHAUSTION SHALL BE PROVIDED AT AN INTENSITY OF NOT LESS THAN 1 FOOT CABLE AT FLOOR LEVEL & AT THE EXTERIOR OF THE BUILDING.
16. PROVIDE 1/4" TYPED GLASS IN ALL INTERIOR WINDOWS & GLASS PARTS TYPICAL (SEE NOTE CHANGES).
17. PROVIDE 4" MIN. CLEAR IN ALL EXIST PASSAGEWAYS.
18. ANY NEW EXTERIOR UTILITY SERVICE EQUIPMENT SHALL BE PAINTED TO MATCH THE BUILDING STANDARD COLORS.

### CONSTRUCTION NOTES

1. FURNISH AND INSTALL WALL AND/OR DOOR SIGNAGE AS REQUIRED, FURNISH AND INSTALL 24" X 48" SIGN BOARD @ 5' A.P.F. & 12" RESPECTIVELY FROM CORNER, FURNISH AND INSTALL ACCESSORIES MONITOR FOR A.D.A. AND PROVIDE 1/4" TURNING RADIUS PER A.D.A. AT RESTROOM.
2. FURNISH AND INSTALL INTERIOR SCHEDULED SYSTEM W/ 1/4" CLEAR GLASS FOR DETAIL - TYPICAL AS REQUIRED PER DETAIL.
3. FURNISH AND INSTALL ANTERIOR GLASS W/ 1/4" CLEAR @ 2'4" OTHER SIDE OF FRONT.
4. FURNISH AND INSTALL APPROPRIATE ELECTRICAL FOR ALL COMPUTER STATIONS & TENANT SUPPLIED CABLES, INCLUDE VOICE AND DATA AS REQUIRED.
5. FURNISH AND INSTALL APPROPRIATE POWER FOR OWNER SUPPLIED EQUIPMENT, VERIFY REQUIREMENTS WITH OWNER.
6. FURNISH AND INSTALL HALLS & STAIRWAYS AS REQUIRED.
7. FURNISH AND INSTALL LOWER AND LOWER CASEWORK W/ 30" X 24" A.P.F. PER A.D.A. AND DETAIL.
8. FURNISH AND INSTALL LOWER CASEWORK W/ 30" X 24" A.P.F. PER A.D.A. AND DETAIL.
9. OFFICE FURNITURE AND CERIGLES TO BE PROVIDED BY TENANT.
10. NOT USED.
11. FURNISH AND INSTALL APPROPRIATE ELECTRICAL FOR DISHWASHER, GARBAGE DISPOSAL AND REFRIGERATOR AS NOTED IN SCHED. 222.
12. NOT USED.
13. FURNISH AND INSTALL APPROPRIATE ELECTRICAL/STAIRWAYS FOR CORNER, PAX, ETC.
14. FURNISH AND INSTALL PULKRINGTON GLASS WALL SYSTEM FOR SUPPLIERS SPECIFICATIONS.
15. FURNISH AND INSTALL 24" SIGNAGE IN HOLLON METAL FRAME, TYPICAL AS REQUIRED.

### WALL LEGEND

- 1. STANDARD OFFICE PARTITION:  
2 1/2" TOTAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE TO 1/4" ABOVE CEILING & 1/4" BATT INSULATION (SND). STD GANGE PER SUPPLIER.
  - 2. INSULATED OFFICE PARTITION:  
3 1/2" TOTAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE TO 1/4" ABOVE CEILING & 1/4" BATT INSULATION (SND). STD GANGE PER SUPPLIER.
  - 3. INSULATED PLUMBING PARTITION:  
6" METAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE TO 1/4" ABOVE CEILING & 1/4" BATT INSULATION (SND). STD GANGE PER SUPPLIER.
  - 4. LOWER RATED PARTITION:  
3 1/2" TOTAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE TO 1/4" ABOVE CEILING & 1/4" BATT INSULATION (SND). STD GANGE PER SUPPLIER.
  - 5. INSULATED JEWEL PARTITION:  
2 1/2" TOTAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE, WALL, ROOF TO 1/4" ABOVE CEILING & 1/4" BATT INSULATION (SND). STD GANGE PER SUPPLIER.
  - 6. PARTIAL HEIGHT PARTITION:  
2 1/2" TOTAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE TO 1/4" ABOVE CEILING & 1/4" BATT INSULATION (SND). STD GANGE PER SUPPLIER.
  - 7. ELEVATOR PARTITION:  
6" METAL STOPS @ 18" O.C. WITH 3/4" SYSTEM BOARD ON EACH SIDE FULL HEIGHT TO 1/4" ABOVE CEILING. STD GANGE PER SUPPLIER.
- \* EXPANSION JOINT NOTE: EXPANSION JOINTS SHALL BE INSTALLED AT A MAX. OF 30'-0". JOINTS SHALL ALSO BE LOCATED TO CORNER W/ APPROVED BUILDING JOINTS.
- \* HALL HEIGHT NOTE: HALLS @ 8'-0" TO 8'-6" METAL STOPS @ 18" O.C. TO AN EMBRACED HEIGHT OF 8'-0" AT HEIGHTS TO 20' MIN @ 20' AN INCH @ 18" O.C. INSTALL 3 ROWS OF BLACK IRON IN HALLS OVER 20' ADJUST STD. STD. GANGE & FINISH AS NOTED FOR ALLOWABLE LOAD DEFLECTION FOR 3 PSI HED LEAD.
- \* NET HALL NOTE: UTILIZE WATER RESISTANT DRYWALL IN ALL ELEVATOR HED WALLS AND ALL WALLS ANTICIPATED TO BE IN CONTACT WITH HEDWALL.
1. NEW DOOR: SEE DOOR SCHEDULE FOR TYPE & SPEC.



**1 2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ARCHITECTURE  
PLANNING  
INTERIORS  
CONSTRUCTING  
PROGRAMMING  
DESIGN / BUILD

**A. PROPOSED OFFICE FOR:**  
**CEAH REALTORS**  
CHAPEL RIDGE  
LEE'S SUMMIT, MISSOURI

DATE	07/11/2017
DRAWN BY	JOHN J. HANZ (J.H.)
CHECKED BY	JOHN J. HANZ
REVIEWER	
PROJECT NUMBER	171
DRAWING TYPE	PG.

BRIEF NUMBER  
**A2.2**  
DRAWING TYPE  
ACTIVITY  
CAD FILE  
CONSTRUCTION  
PROJECT NUMBER  
07/11/2017





# LEE'S SUMMIT OFFICE BUILDING

3215 Carnegie Drive, Lee's Summit, Missouri

AERIAL



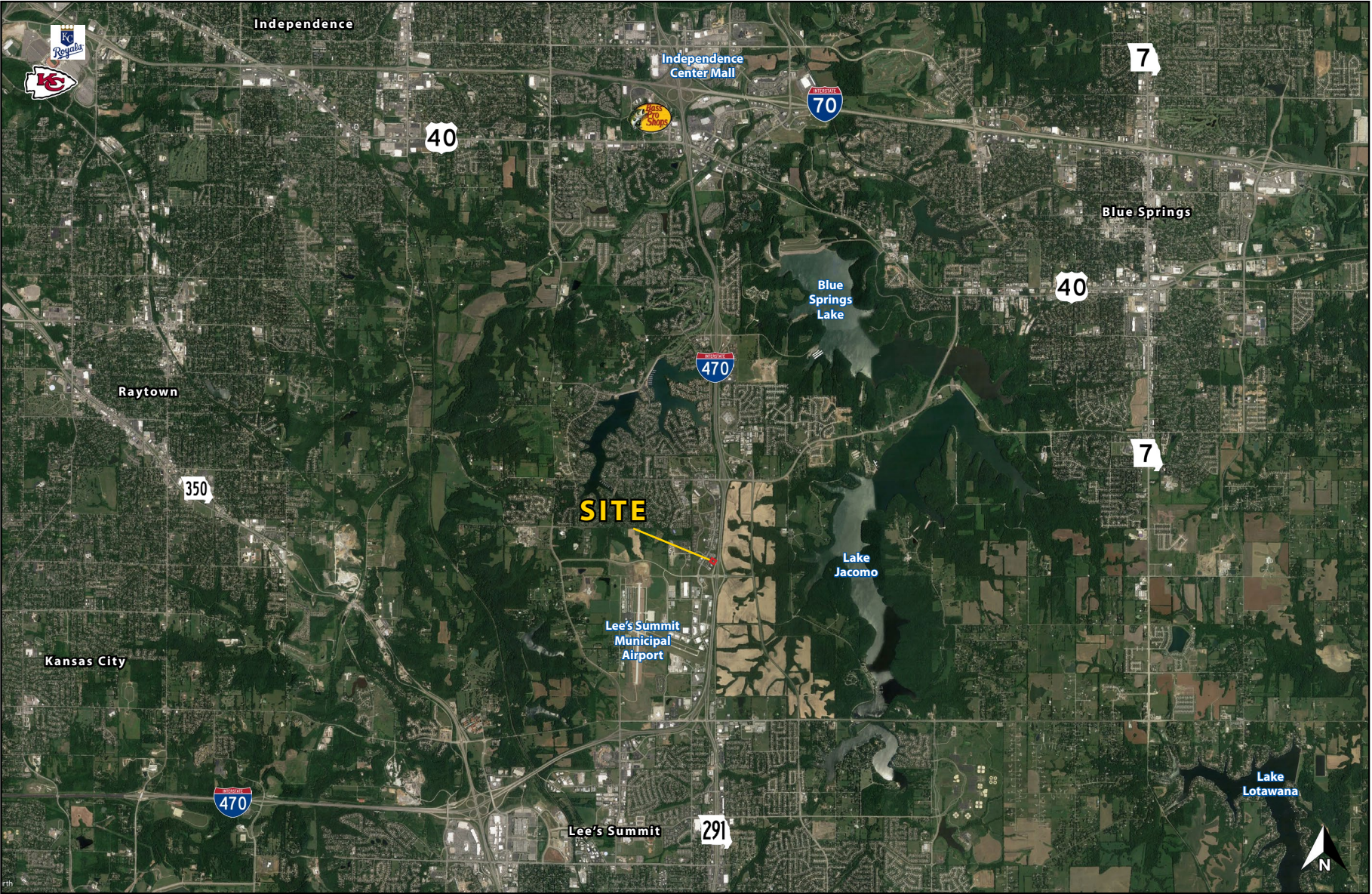




# LEE'S SUMMIT OFFICE BUILDING

3215 Carnegie Drive, Lee's Summit, Missouri

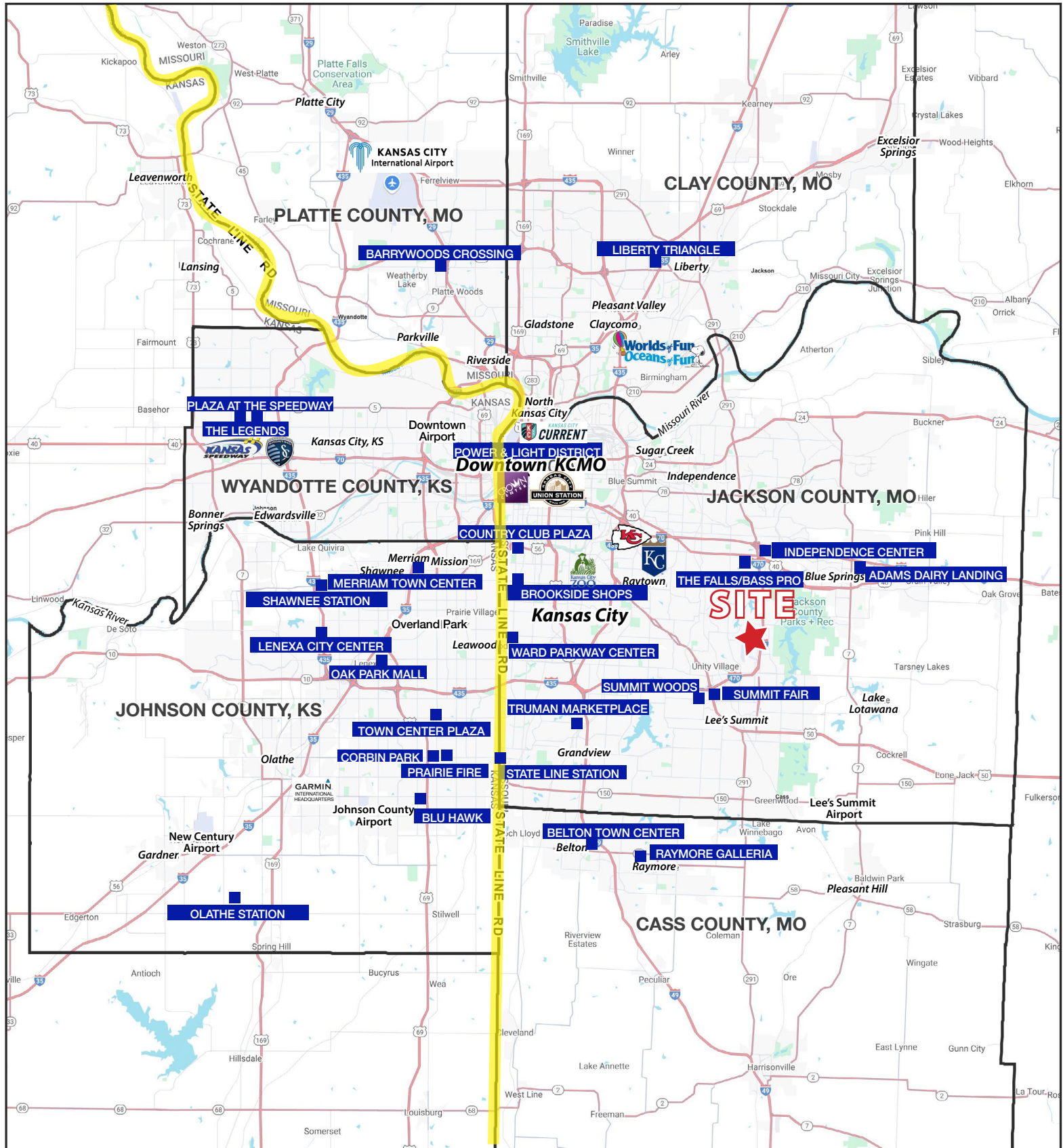
AERIAL





# LEE'S SUMMIT OFFICE BUILDING

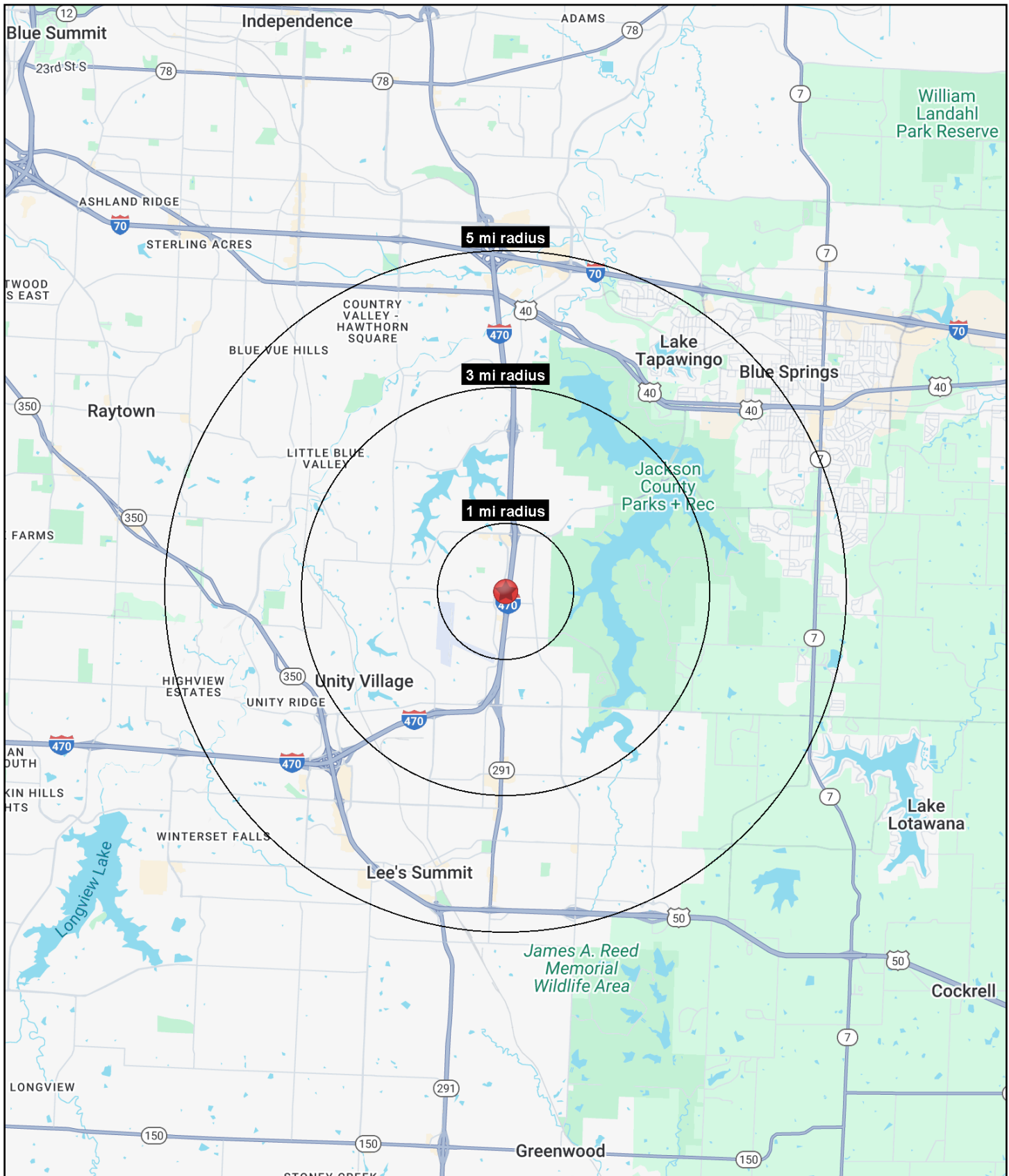
3215 Carnegie Drive, Lee's Summit, Missouri





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## 3215 Carnegie Drive, Lee's Summit, Missouri

3215 NE Carnegie Drive Lee's Summit, MO 64064	1 mi radius	3 mi radius	5 mi radius
<b>Population</b>			
2024 Estimated Population	3,391	25,280	106,094
2029 Projected Population	3,904	26,211	109,217
2020 Census Population	2,854	24,957	106,655
2010 Census Population	2,653	22,786	98,492
Projected Annual Growth 2024 to 2029	3.0%	0.7%	0.6%
Historical Annual Growth 2010 to 2024	2.0%	0.8%	0.6%
2024 Median Age	36.7	40.8	41.0
<b>Households</b>			
2024 Estimated Households	1,489	10,026	43,366
2029 Projected Households	1,741	10,456	44,792
2020 Census Households	1,093	9,582	42,308
2010 Census Households	986	8,603	38,547
Projected Annual Growth 2024 to 2029	3.4%	0.9%	0.7%
Historical Annual Growth 2010 to 2024	3.7%	1.2%	0.9%
<b>Race and Ethnicity</b>			
2024 Estimated White	67.6%	77.3%	78.0%
2024 Estimated Black or African American	22.5%	12.7%	12.3%
2024 Estimated Asian or Pacific Islander	2.2%	2.9%	2.0%
2024 Estimated American Indian or Native Alaskan	0.3%	0.3%	0.3%
2024 Estimated Other Races	7.4%	6.9%	7.4%
2024 Estimated Hispanic	6.0%	6.0%	6.5%
<b>Income</b>			
2024 Estimated Average Household Income	\$96,166	\$139,323	\$120,613
2024 Estimated Median Household Income	\$66,976	\$110,659	\$95,313
2024 Estimated Per Capita Income	\$42,543	\$55,358	\$49,358
<b>Education (Age 25+)</b>			
2024 Estimated Elementary (Grade Level 0 to 8)	2.8%	1.4%	1.5%
2024 Estimated Some High School (Grade Level 9 to 11)	0.7%	1.4%	2.7%
2024 Estimated High School Graduate	29.0%	19.0%	23.4%
2024 Estimated Some College	24.8%	19.1%	22.9%
2024 Estimated Associates Degree Only	3.4%	6.8%	8.7%
2024 Estimated Bachelors Degree Only	23.7%	30.6%	25.4%
2024 Estimated Graduate Degree	15.6%	21.7%	15.5%
<b>Business</b>			
2024 Estimated Total Businesses	448	1,379	4,526
2024 Estimated Total Employees	4,419	14,075	44,251
2024 Estimated Employee Population per Business	9.9	10.2	9.8
2024 Estimated Residential Population per Business	7.6	18.3	23.4

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